



Ranch Association Office use only:	
Review Fee \$ _____	paid by:
<input type="checkbox"/> Credit Card	<input type="checkbox"/> Check # _____
Date Paid _____	Received by (initials) ____

Architectural Modification Submittal Form

If this property is located within a sub-association, **prior sub-association board review is required.** Contact property manager with questions regarding process. A copy of the sub-association’s board review and review letter must be attached to this submittal

Date _____ DC Ranch Neighborhood _____ Lot _____

Fill in all requested information. If form is incomplete, submittal will not be accepted.

Property Address _____

<p>CHECK ONE OF THE FOLLOWING: <input type="checkbox"/> This submittal is for existing modifications that were not reviewed by the Modification Committee. I understand there is a minimum \$500 penalty fee due, over and above the applicable design review fee. <input type="checkbox"/> This is a Resubmittal of a previously reviewed modification. Resubmittal Fee \$ _____ <input type="checkbox"/> This is a new modification submittal.</p>
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Property Owner _____ Contractor Name _____

Phone _____ Phone _____

Email _____ Email _____

REQUIRED - Describe the proposed modifications. Submit separate project narrative sheet by area: Front Elevation, Back Elevation, Side Elevation.

Submittal Fee \$ _____ (refer to appropriate *Design Review Fee Worksheet*). Fee must be received prior to submittal being placed on Modification Committee meeting agenda for review. An additional fee may be required should project exceed original project description or be altered without informing DC Ranch. A member of the Ranch Association may visit this property to take pictures of the proposed modification areas where work will take place. Prior to any visit, permission by Homeowner must be obtained. This signature allows a staff member one-time access to the exterior areas of the property. Homeowners, or their representative agent, may send email granting permission.

Homeowner Signature _____ **Date** _____

I have read the Modification Submittal Instructions and Review Process and Submittal Requirements, and I understand that my modification submittal herewith may be considered incomplete; or may not be accepted if there are any outstanding Transfer & Disclosure (T&D) or community standard violations.

Homeowner or Contractor Signature _____ **Date** _____

Contractor Name _____ Contractor Email _____

Contractor Phone _____ Contractor License# _____

NOTES: DC Ranch will use the information on this form and any other attached documents during the modification review process. If requested, all information contained herein may become available to other DC Ranch property owners. Many home improvements may also require separate permits and inspections by the City of Scottsdale building and/or zoning departments. Please call the City of Scottsdale Building Inspections at (480) 994-2500.

The Ranch Office 18867 N. Thompson Peak Pkwy. St 100 Scottsdale AZ 85255 Telephone 480.513.1500

www.dcranch.com or submit to: modifications@dcranchinc.com



Architectural Modification Submittal Form

Requested information on Page 3 is required to prepare/ensure a modification submittal is complete and sufficient to be reviewed by the Ranch Association and presented to the Modification Committee for a decision. Acceptance of your submittal does not guarantee completeness; missing information may lead to cancellation and resubmittal with possible fees and delays. *Per CC&R Article 4.3 Modifications, the Modification Committee will respond within 30 days of a completed modification review.*

If in a Sub-Association (1.12, 1.15, 1.16, 2.4, 2.7, 2.8, 4.2, 4.11, 5.09A, T4B, T5), a copy of the sub-association's review letter must be attached with your submittal.

It is the homeowner's or contractor's responsibility to refer to the design guidelines available on <https://dcranch.com/my-home/resident-resources/standards-guidelines/> and, if necessary, to make a consultation appointment with a member of the Modifications team to answer any questions.

Submit forms, documents, and payment to Ranch Office, 18867 N. Thompson Peak Pkwy. Ste 100, Scottsdale AZ 85255 or email to modifications@dcranchinc.com. Payment options: check payable to DC Ranch Association or credit card by calling 480-513.1500 (4% processing fee for credit card payment).

Submittal Review Process:

- Association Staff reviews the submittal for completeness.
 - Owner/Contractor may be requested to revise plans or provide additional information.
 - **NOTE:** Submittals may be rejected for community standards violations or open non-compliant Transfer & Disclosure items, *per Board Resolution dated October 3, 2022.*
2. **Modification Committee Meeting (2nd & 4th Tuesday of each month @ 2pm)**
 - Complete submittals are presented to the Modification Committee. Per *ARS 38-431.01* Meetings are open and Owners may attend.
 - Complete submittals must be received eleven (11) days prior to the meeting.
 3. **Decision**
 - Notification of Committee decision (Approved, Not Approved, or Insufficient) is emailed within three (3) days after the Modification Committee Meeting. Decision status is outlined in Review Letter. Additional information may be requested from Submitter.
 - If Not Approved or Insufficient, revised plans are required (as outlined in Review Letter)
 4. **Covenant Commission Review**
 - All Modification Committee decisions then undergo Covenant Commission review, taking up to ten (10) additional working days from the above emailed 3-day notification.
 5. **Permit**
 - If Approved, a DC Ranch Issued Permit is required for demolition and/or construction.
 - Construction Permits are valid for one year, with extensions available upon request.
 6. **Final Inspection**
 - Homeowner and/or contractor must notify the Association upon completion.
 - Association conducts a final inspection to ensure compliance with approved plans.
 - Without a final inspection by the Association, the property is considered non-compliant.

Electronic Submittals preferred. Digital Document Files are required and are to be emailed to modifications@dcranchinc.com . One 11"x17" may be submitted with application, electronic is preferred.

Submittal Requirements (General/Miscellaneous)

1. Aerial, Plat Map, Plot Plan, Site Survey or Google Earth map to depict location and property lines (<https://maps.mcasessor.maricopa.gov/> Or <https://eservices.scottsdaleaz.gov/maps/parcel-information#>). Plot plans may be available from <https://eservices.scottsdaleaz.gov/bldgresources/EDM/DMSearch>
2. Professional 11'x17' elevations, floorplans, or shop drawings.
 - Depending upon the type of architectural modification, professional plans and/or drawings are required. **All plans and drawings must be to a particular scale, either 1/8" = 1' 0" or 1" = 10'**. Drawings not to standard scale or at a scale that is too small will not be accepted.
 - Photographs of the home as a substitute for architectural drawings may be allowed if dimensions, materials, and other critical information is indicated on the photograph.
 - Renderings are helpful but will not be accepted as substitution for any plans or details.
3. Project Narrative required, defining scope of work to be performed.
4. Multiple photographs of the existing site conditions of the area to be modified.
5. Product cut sheets. Must include Manufacturer's specification sheets for proposed products, materials, etc. with product details such as exact size, dimensions, material, color, finish,
6. Demolition plan and Construction Access plan required; to identify access route, material storage and disposal.
7. Confirm last Transfer & Disclosure (T&D) Resale statement or property is clear of Community Standards.

For Example: Exterior Lighting, Windows and/or Doors

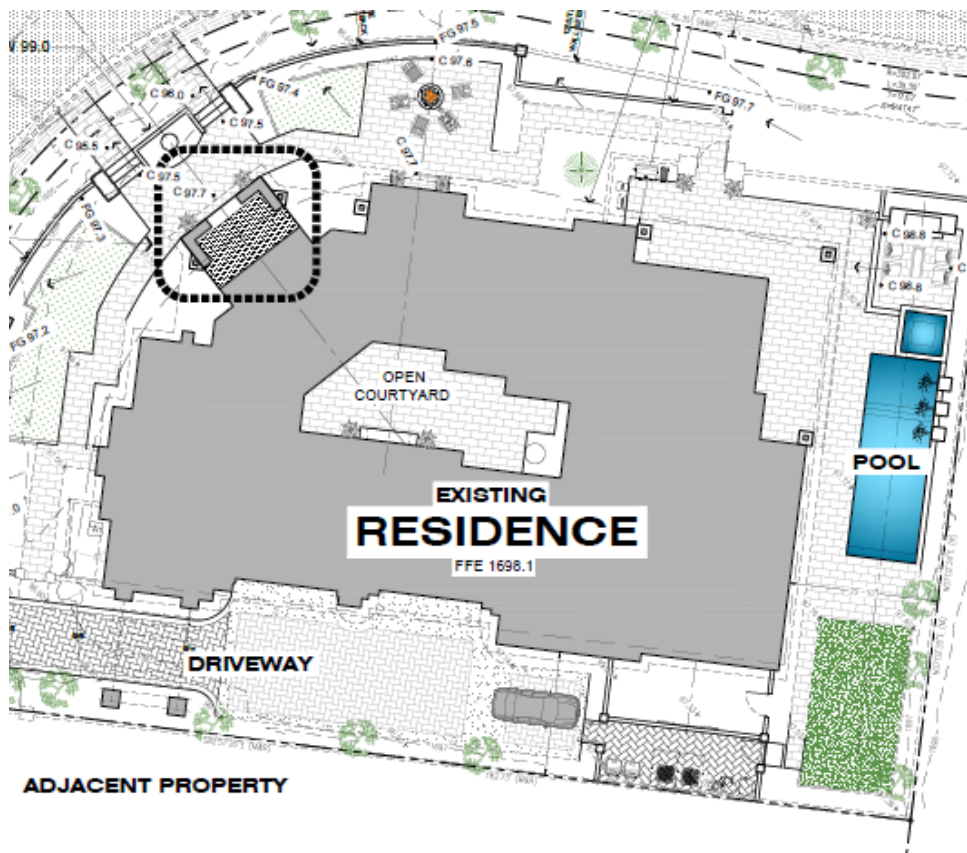
1. Aerial, Plat Map, Plot Plan, Site Survey or Google Earth map to depict location and property lines (<https://maps.mcasessor.maricopa.gov/> Or <https://eservices.scottsdaleaz.gov/maps/parcel-information#>). Plot plans may be available from <https://eservices.scottsdaleaz.gov/bldgresources/EDM/DMSearch>
2. Multiple photographs of the existing site conditions of the area to be modified.
3. Product cut sheets. Must include the manufacturer's specifications for product with details such as exact size, dimensions, material, color, finish, wattage, lumen, and how it should be mounted and/or secured.
4. Provide a copy of the plot plan/floor plan and indicate where all light fixtures or windows are located (Plot plans may be available by request from DC Ranch Association or from the City of Scottsdale). Cross reference locations to Installers quote which should specify quantity of fixtures, doors, and/or windows. Provide the total quantity on the house.
5. DC Ranch may request an actual sample of a light fixture.

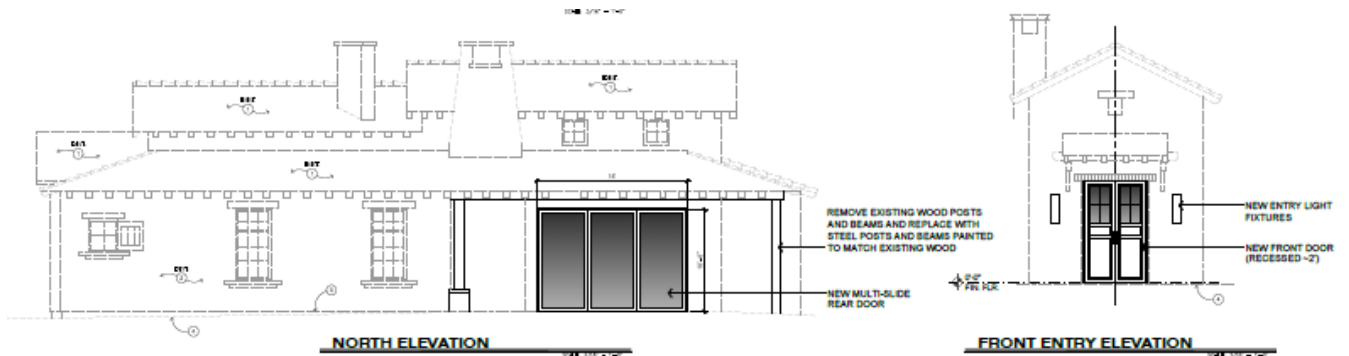
For Example: Retractable Awnings and Sunscreens

1. Aerial, Plat Map, Plot Plan, Site Survey or Google Earth map to depict location and property lines (<https://maps.mcasessor.maricopa.gov/> Or <https://eservices.scottsdaleaz.gov/maps/parcel-information#>). Plot plans may be available from <https://eservices.scottsdaleaz.gov/bldgresources/EDM/DMSearch>
2. Architectural elevation drawings. All dimensions must be indicated on the drawings.
3. Multiple photographs of the existing site conditions of the area to be modified.
4. Product cut sheets. Must include the manufacturer's specifications for proposed products, materials, colors, finish. Sample may be requested.
5. Provide a copy of the plot plan/floor plan and indicate where all awnings/screens are located (Plot plans may be available by request from DC Ranch Association or from the City of Scottsdale). Cross reference locations to Installers quote which should specify quantity of awnings/screens. Provide the total quantity on the house.
6. DC Ranch may request an actual sample of material.

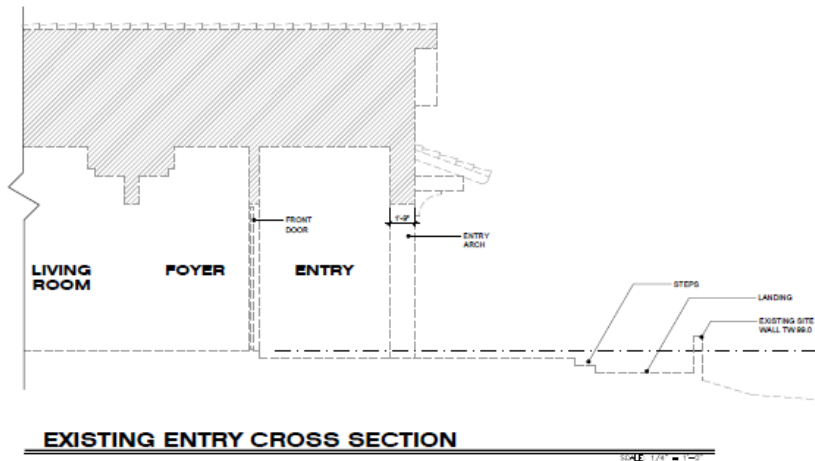
For Example: Structural

1. Aerial, Plat Map, Plot Plan, Site Survey or Google Earth map to depict location and property lines (<https://maps.mcassessor.maricopa.gov/> Or <https://eservices.scottsdaleaz.gov/maps/parcel-information#>). Plot plans may be available from <https://eservices.scottsdaleaz.gov/bldgresources/EDM/DMSearch>
2. Project Narrative required, defining scope of work to be performed.
3. Site plan required with directional North required.
4. Professional 11'x17' elevations, floorplans, or shop drawings.
 - Depending upon the type of architectural modification, professional plans and/or drawings are required. **All plans and drawings must be to a particular scale, either 1/8" = 1' 0" or 1" = 10'**. Drawings not to standard scale or at a scale that is too small will not be accepted.
 - Photographs of the home as a substitute for architectural drawings may be allowed if dimensions, materials, and other critical information is indicated on the photograph.
 - Renderings are helpful but will not be accepted as substitution for any plans or details.
5. All dimensions and materials must be indicated on the drawings.
6. Multiple photographs of the existing site conditions of the area to be modified.
7. Provide a copy of the plot plan/floor plan and indicate where all changes are located. Plot plans may be available by request from DC Ranch Association or from the City of Scottsdale.
8. Product cut sheets. Must include the manufacturer's specifications and sheets for proposed products, materials, etc. with product details such as exact size, dimensions, material, color, and finishes.
8. Demolition plan and Construction Access plan required; to identify access route, material storage and disposal.

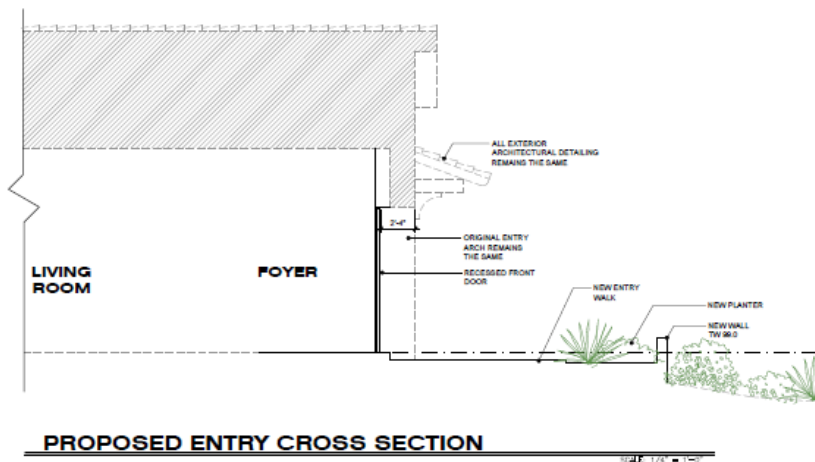




Elevation Example



EXISTING ENTRY CROSS SECTION



PROPOSED ENTRY CROSS SECTION