



<b>Ranch Association Office use only:</b>	
Review Fee \$ _____	paid by:
<input type="checkbox"/> Credit Card	<input type="checkbox"/> Check # _____
Date Paid _____	Received by (initials) _____

**Landscape and/or Hardscape Modification Submittal Form**

If this property is located within a sub-association, **prior sub-association board review is required**. Contact property manager with questions regarding process. A copy of the sub-association’s board review and review letter must be attached to this submittal

Date \_\_\_\_\_ DC Ranch Neighborhood \_\_\_\_\_ Lot \_\_\_\_\_

Fill in all requested information. If form is incomplete, submittal will not be accepted.

Property Address \_\_\_\_\_

<p><b>CHECK ONE OF THE FOLLOWING:</b> <input type="checkbox"/> This submittal is for existing modifications that were not reviewed by the Modification Committee. I understand there is a minimum \$500 penalty fee due, over and above the applicable design review fee. <input type="checkbox"/> This is a <b>Resubmittal</b> of a previously reviewed modification. <b>Resubmittal Fee \$</b> _____ <input type="checkbox"/> This is a <b>new</b> modification submittal.</p>
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Property Owner \_\_\_\_\_ Contractor \_\_\_\_\_  
 Phone \_\_\_\_\_ Phone \_\_\_\_\_  
 Email \_\_\_\_\_ Email \_\_\_\_\_

**REQUIRED - Describe the proposed modifications. Submit separate project narrative sheet by area: Front Yard/Back Yard/Side Yard/Court Yard.**

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**Submittal Fee \$** \_\_\_\_\_ (refer to appropriate *Design Review Fee Worksheet*). Fee must be received prior to submittal being placed on Modification Committee meeting agenda for review. An additional fee may be required should project exceed original project description or be altered without informing DC Ranch. A member of the Ranch Association may visit this property to take pictures of the proposed modification areas where work will take place. Prior to any visit, permission by Homeowner must be obtained. This signature allows a staff member one-time access to the exterior areas of the property. Homeowners, or their representative agent, may send email granting permission.

Homeowner Signature \_\_\_\_\_ Date \_\_\_\_\_

I have read the Modification Submittal Instructions and Review Process and Submittal Requirements, and I understand that my modification submittal herewith may be considered incomplete; or may not be accepted if there are any outstanding T&D or community standard violations.

Homeowner or Contractor Signature \_\_\_\_\_ Date \_\_\_\_\_

Contractor Name \_\_\_\_\_ Contractor Email \_\_\_\_\_  
 Contractor Phone \_\_\_\_\_ Contractor License# \_\_\_\_\_

**NOTES:** DC Ranch will use the information on this form and any other attached documents during the modification review process. If requested, all information contained herein may become available to other DC Ranch property owners. Many home improvements may also require separate permits and inspections by the City of Scottsdale building and/or zoning departments. Please call the City of Scottsdale Building Inspections at (480) 994-2500.



## Landscape and/or Hardscape Modification Submittal Form

Requested information on Page 3 is required to prepare/ensure a modification submittal is complete and sufficient to be reviewed by the Ranch Association and presented to the Modification Committee for a decision. Acceptance of your submittal does not guarantee completeness; missing information may lead to cancellation and resubmittal with possible fees and delays. *Per CC&R Article 4.3 Modifications, the Modification Committee will respond within 30 days of a completed modification review.*

**If in a Sub-Association (1.12, 1.15, 1.16, 2.4, 2.7, 2.8, 4.2, 4.11, 5.09A, T4B, T5),** a copy of the sub-association's review letter must be attached with your submittal.

*It is the homeowner's or contractor's responsibility to refer to the design guidelines available on <https://dcranch.com/my-home/resident-resources/standards-guidelines/> and, if necessary, to make a consultation appointment with a member of the Modifications team to answer any questions.*

Submit forms, documents, and payment to Ranch Office, 18867 N. Thompson Peak Pkwy. Ste 100, Scottsdale AZ 85255 or email to [modifications@dcranchinc.com](mailto:modifications@dcranchinc.com). Payment options: check payable to DC Ranch Association or credit card by calling 480-513.1500 (4% processing fee for credit card payment).

### **Submittal Review Process:**

#### **1. Initial Review and Consultation**

- Association Staff reviews the submittal for completeness.
- Owner/Contractor may be requested to revise plans or provide additional information.
- **NOTE:** Submittals may be rejected for community standards violations or open non-compliant Transfer & Disclosure items, *per Board Resolution dated October 3, 2022.*

#### **2. Modification Committee Meeting (2nd & 4th Tuesday of each month @ 2pm)**

- Complete submittals are presented to the Modification Committee. Per ARS 38-431.01 Meetings are open and Owners may attend.
- Complete submittals must be received eleven (11) days prior to the meeting.

#### **3. Decision**

- Notification of Committee decision (Approved, Not Approved, or Insufficient) is emailed within three (3) days after the Modification Committee Meeting. Decision status is outlined in Review Letter. Additional information may be requested from Submitter.
- If Not Approved or Insufficient, revised plans are required (as outlined in email/letter)

#### **4. Covenant Commission Review**

- All Modification Committee decisions then undergo Covenant Commission review, taking up to ten (10) additional working days from the above emailed 3-day notification.

#### **5. Permit**

- If Approved, a DC Ranch Issued Permit is required for demolition and/or construction.
- Construction Permits are valid for one year, with extensions available upon request.

#### **6. Final Inspection**

- Homeowner and/or contractor must notify the Association upon completion.
- Association conducts a final inspection to ensure compliance with approved plans.
- Without a final inspection by the Association, the property is considered non-compliant.

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## Submittal Requirement Checklist

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1. Aerial, Plat Map, Plot Plan, Site Survey or Google Earth map to depict location and property lines (<https://maps.mcassessor.maricopa.gov/> Or <https://eservices.scottsdaleaz.gov/maps/parcel-information#>). Plot plans may be available from <https://eservices.scottsdaleaz.gov/bldgresources/EDM/DMSearch>.
2. Electronic – Email landscape and /or hardscape drawing plan. **All pool and/or spa modification requests** (new or a remodel) **require a landscape plan. No exceptions.** Digital Document Files are required and are to be emailed to [modifications@dcranchinc.com](mailto:modifications@dcranchinc.com). One 11"x17" may be submitted with application, **electronic is preferred.**
- Professional landscape plans or comprehensive drawings are required.** Plans must include a north arrow, a bar scale, and owner information in the legend.
  - Plans must be to a particular scale** such as 1/8" = 1' 0", 1" = 10', or a similar appropriate scale; **and must be readable at the 11"x17" size.** Drawings not to scale or at a scale that is too small to read will not be accepted.
  - Existing elements must be indicated** on the landscape drawings if they are existing and remaining (e.g., large shrubs, trees, patios, sidewalks, pool, property walls, property lines, utilities, house, etc.).
  - Proposed elements must be indicated** on the landscape drawing (e.g., new plantings, hardscape elements, landscape lighting (including string lights), etc.).
  - When applicable, the **landscape drawing must include (but not limited to):** all front and side elevations of the home, all dimensioned areas, grading, drainage information (drainage pattern and contour lines), height of proposed and existing walls, location and names of all landscape elements, lighting plan along with transformer/power sources, irrigation lines, location of equipment such as A/C unit, pool equipment, satellite dish, pergola, trellis and distance from walls.
  - Plantings must be color coded by zone (utilize appropriate neighborhood Landscape zone guidelines <https://dcranch.com/my-home/resident-resources/home-landscape-changes/> for cross-reference):
    - o Private zone plants highlighted in yellow
    - o Enhanced zone plants highlighted in orange
    - o Transition zone plants highlighted in blue
    - o Natural zone plants highlighted in green
  - Plant legend is required to be on a separate page** and must include: quantities, container sizes, botanical and common plant names (images are not necessary). Refer to appropriate DC Ranch **Approved Plant Palette and Planting Zones** (available on <https://dcranch.com/my-home/resident-resources/standards-guidelines/>).
  - Lighting plan is required. A lighting legend is required to be on a separate page** and must include quantity, manufacturer's name, and model numbers for proposed fixtures. Provide Manufacturer Specification Sheets for all proposed fixtures.
  - Construction details are required** if proposing hardscape elements such as view fence, retaining walls, trellis, fireplace, BBQ, water feature/fountain, pergola/ramada, or any other item that is taller than 12 inches. Include all dimensions, materials, and colors. Renderings or illustrations of these items are not acceptable as substitutions for the hardscape details.
  - Site Plan/Aerial/Plot Plan identifying construction access and demolition plan for back yard construction/remodel.
3. Multiple photographs of the existing site conditions of the area to be modified.
4. Provide product samples (e.g., patio surface material), digital material/sample board of proposed materials, manufacturer weblinks or manufacturer specification sheets of all proposed products.
5. Confirm last Transfer & Disclosure (T&D) Resale statement or property is clear of Community Standards.

The Ranch Office 18867 N. Thompson Peak Pkwy. St 100 Scottsdale AZ 85255 Telephone 480.513.1500

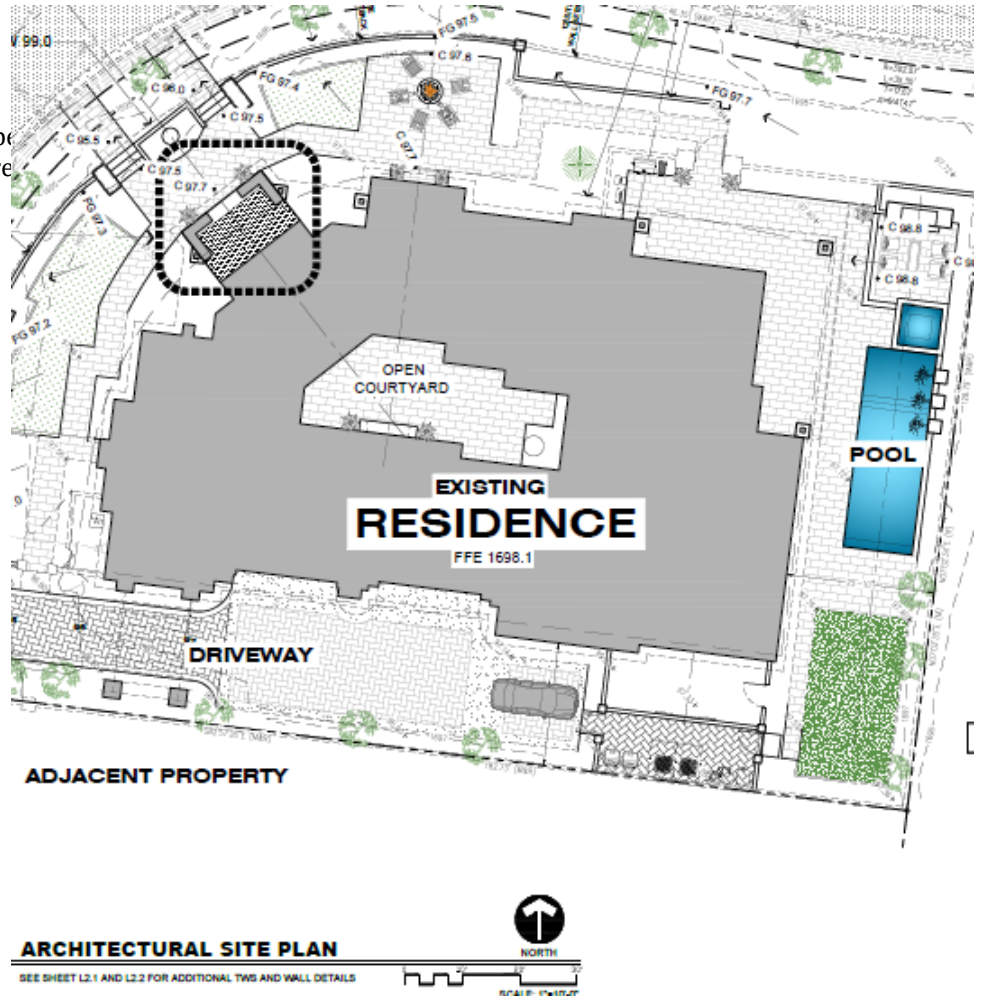
[www.dcranch.com](http://www.dcranch.com) or submit to: [modifications@dcranchinc.com](mailto:modifications@dcranchinc.com)

Rev'd 11.21.2024

## Examples

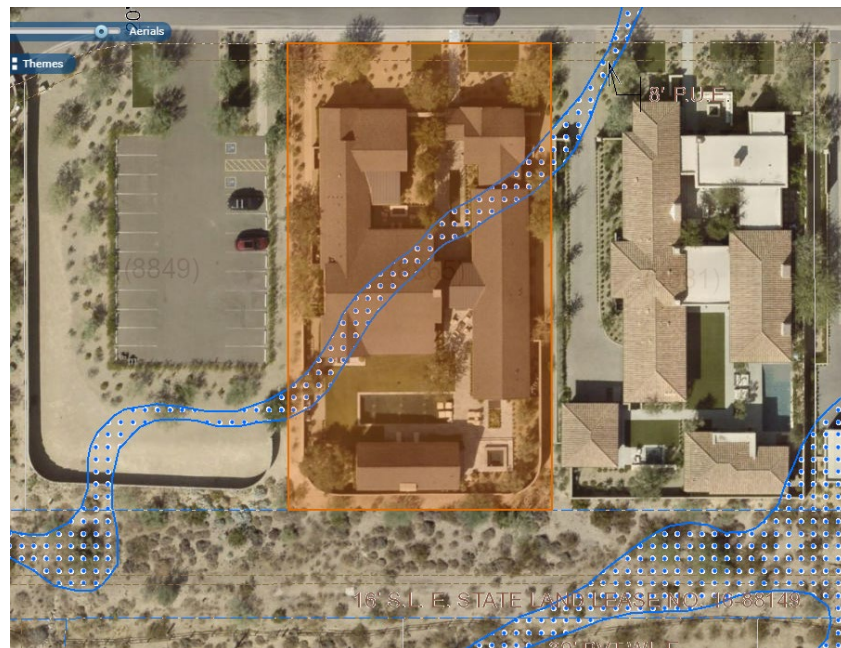
### A. Example of Site Plan

Shows a singular piece of land.  
Identifies lot lines, building envelope (if applicable) and existing structure on the property.



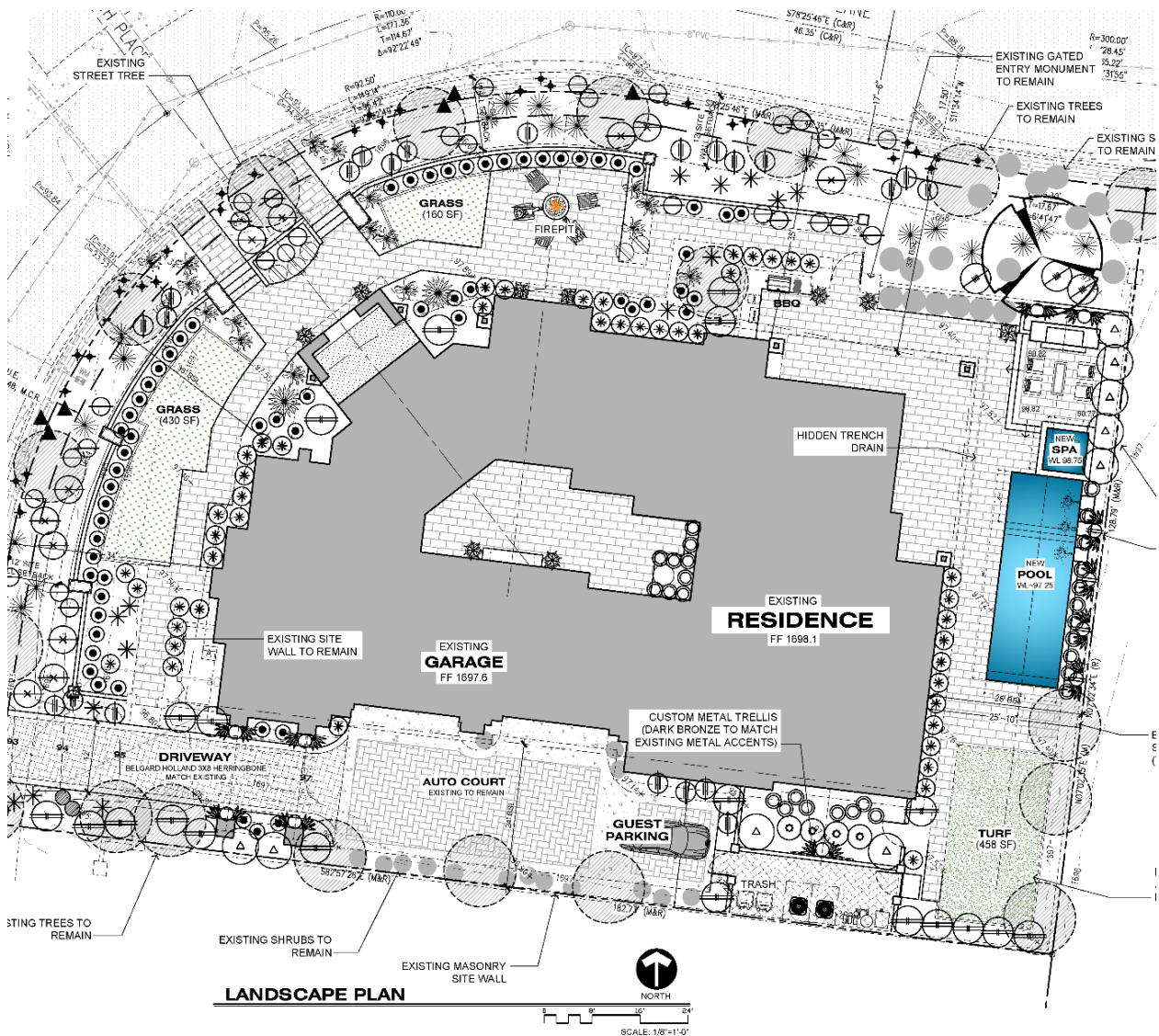
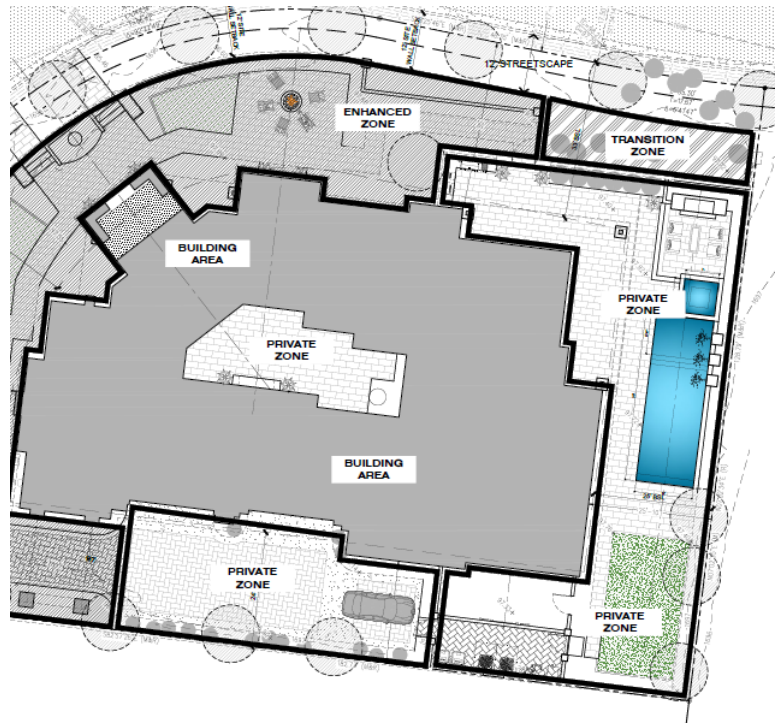
### B. Example of Aerial

Shows a singular piece of land. Existing lot lines and structures on the land. <https://mcasessor.maricopa.gov/> or <https://earth.google.com/web/search/85255>



**C. Example of Landscape Zones and Plan**

A professional plan to scale that identifies all landscape zones existing on property and a scaled landscape plan.



## D. Examples of Plant Legend

A professional plan that identifies all plants, quantities, sizes and zone locations.

### PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	ZONE
<b>TREES</b>					
	EXISTING TREES	BY OTHERS	SEE PLAN		
	PROSOPIS CHILENSIS	CHILEAN MESQUITE	36" BOX	1	T
<b>SHRUBS</b>					
	LAVANDULA	LAVENDER	5 GAL.	28	P
	WHITE ROSE	WHITE ROSE VARIETY	5 GAL.	4	P
	LEUCOPHYLLUM FRUITESCENS	GREEN CLOUD SAGE	5 GAL.	3	E,P
	OLEA EUROPAEA 'MONTRA'	DWARF OLLIE	5 GAL.	47	E,P
	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	5 GAL.	22	T,E
	TECOMA STANS	ARIZONA YELLOW BELLS	15 GAL.	9	T,E,P
	SALVIA GREGGII	AUTUMN SAGE	5 GAL.	28	S,T,E
	LEUCOPHYLLUM LAEVIGATUM	CHIHUAHUAN SAGE	5 GAL.	20	T,E,P
	SAVIA CLEVELANDII	CHAPARRAL SAGE	5 GAL.	12	T,E, P
	HARDENBERGIA VIOLACEA	LILAC VINE	5 GAL.	7	P
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	5 GAL.	4	P
<b>ACCENTS</b>					
	AGAVE DESMETTIANA, AGAVE ATTENUATA	SMOOTH EDGE AGAVE BLUE FLAME AGAVE	15 GAL.	17	S,T,E
	HESPERALOE PARVIFLORA	RED YUCCA	15 GAL.	14	T,E
	DASILYRIUM WHEELERI	DESERT SPOON	5 GAL.	20	S,T,E
	YUCCA ELATA	SOAP TREE YUCCA	SPECIMEN	2	T, E, P
<b>GROUND COVER</b>					
	PENSTEMON PARRYI	PARRY'S PENSTEMON	1 GAL.	6	S,T,E
	LANTANA MONTEVIDENSIS	WHITE LANTANA	1 GAL.	62	E,P
	CHRYSACTINIA MEXICANA	DAMIANITA DAISY	1 GAL.	32	S,T,E
	VERBENA GOODINGII	GOODINGS VERBENA	1 GAL.	6	S,T,E
	EUPHORBIA RIGIDA	GOPHER PLANT	15 GAL.	5	E,P
<b>INERT GROUND COVER</b>					
DECOMPOSED GRANITE	MADISON GOLD	1/2" MINUS	IN ALL PRIVATE PLANTERS AND PLANTER POTS		
<b>NOTES:</b>					
1. CONTRACTOR TO VERIFY ALL QUANTITIES.					
2. REUSE EXISTING ACCENT PLANTS WHERE POSSIBLE. CONTRACTOR TO MAKE SUBSTITUTIONS BASED ON AVAILABILITY.					
3. SUPPLEMENT EXISTING DECOMPOSED GRANITE TOPDRESS AS NEEDED (FIELD VERIFY). MATCH EXISTING GRANITE SIZE AND COLOR AND RAKE TO BLEND.					
<b>ZONES:</b>					
S	STREETSCAPE ZONE				
T	TRANSITION ZONE				
E	ENHANCED ZONE				
P	PRIVATE ZONE				

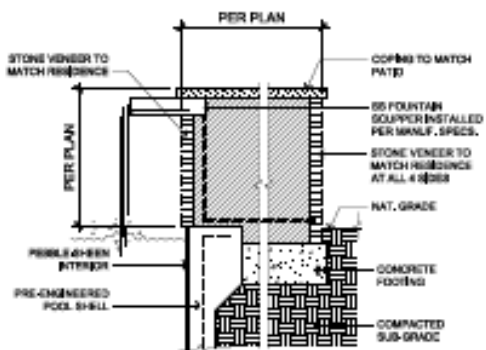
— LARGE PLANTS TRAINED TO WALL/TRELLIS MUST BE MIN. 6FT TALL AT INSTALLATION

— EXISTING MASONRY SITE WALL (TW ~03.4)

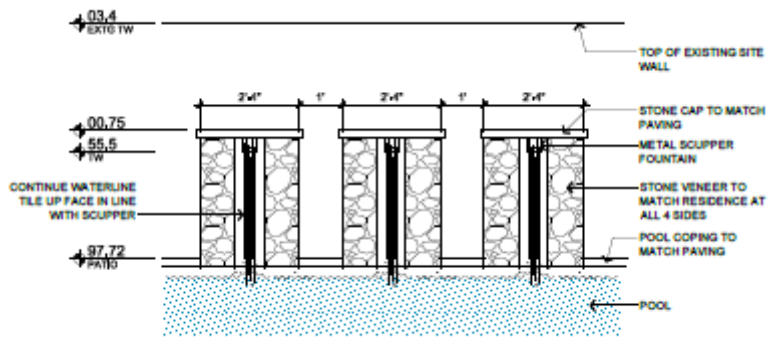
### SITE CALCS:

SITE AREA	22,146 S.F.	TREES REQ./PROV.	SHRUBS REQ./PROV.
PRIVATE AREA	1100 S.F.	1 / 3	44 / 64
TURF/GRASS AREA	1300 S.F. (6%)		
TRANSITIONAL AREA	1000 S.F.	1 / 5	40 / 62
ENHANCED AREA	1800 S.F.	1 / 1	72 / 117
STREETSCAPE AREA	2300 S.F.	PROVIDED	92 / 105
<b>TOTAL LANDSCAPE</b>	<b>7,500 S.F. (34% of total)</b>		

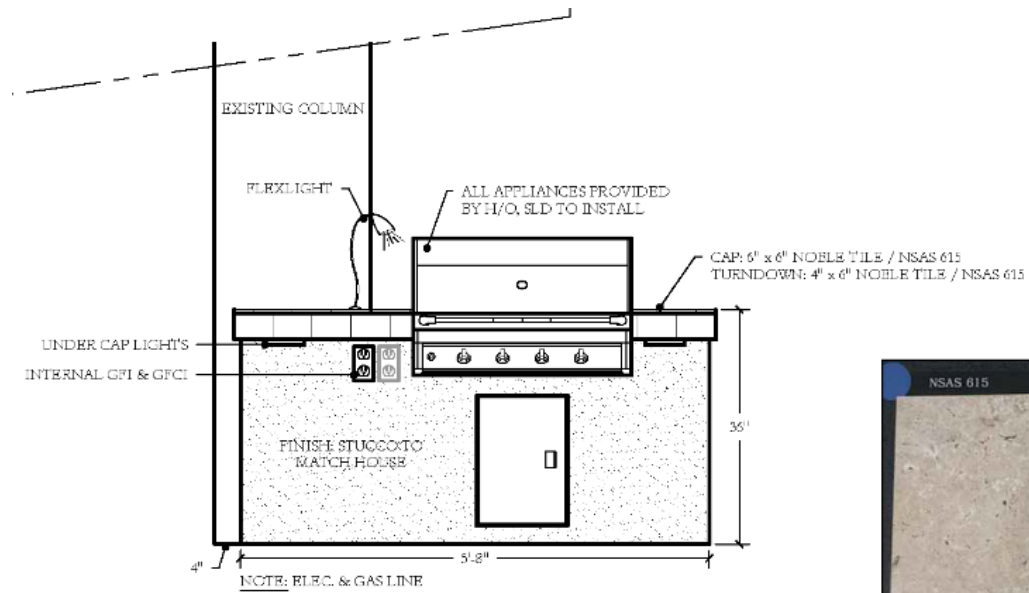
E. Example of Construction Details To be provided (if applicable)



**D FOUNTAIN COLUMN SECTION**  
SCALE: 3/4"=1'-0"

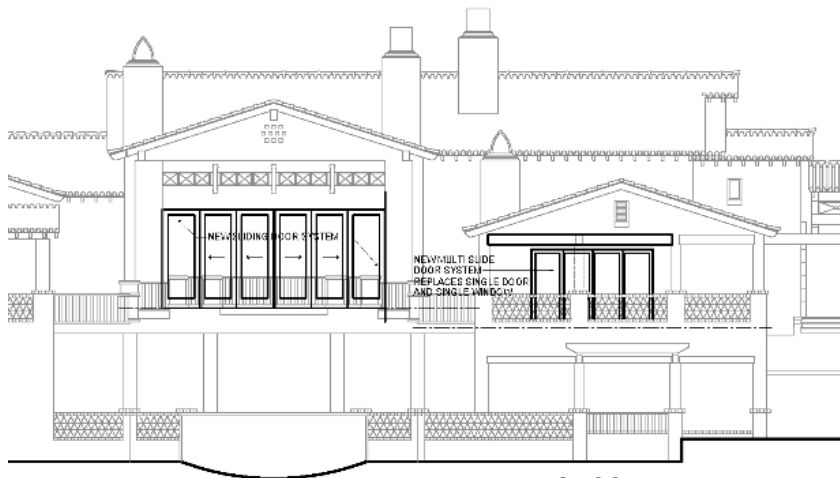


**E FOUNTAIN COLUMN ELEVATIONS**  
SCALE: 3/4"=1'-0"

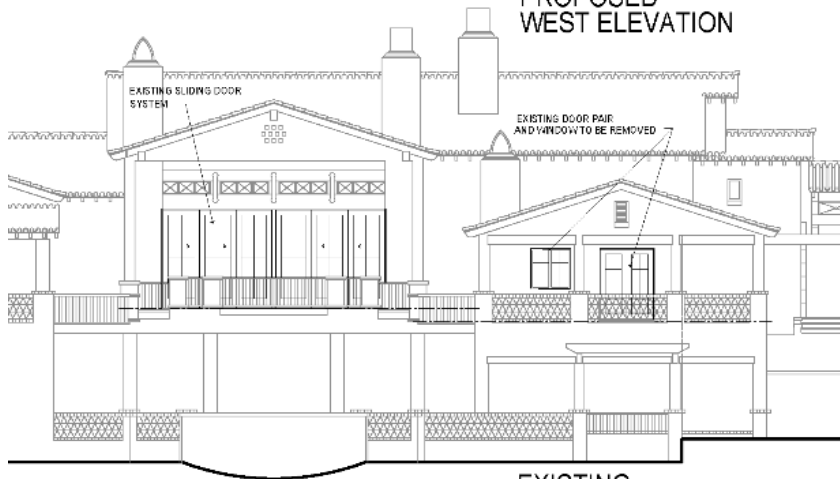


**5 BARBECUE CONCEPT**  
1/2" = 1'-0" CMU BLOCK CONSTRUCTION



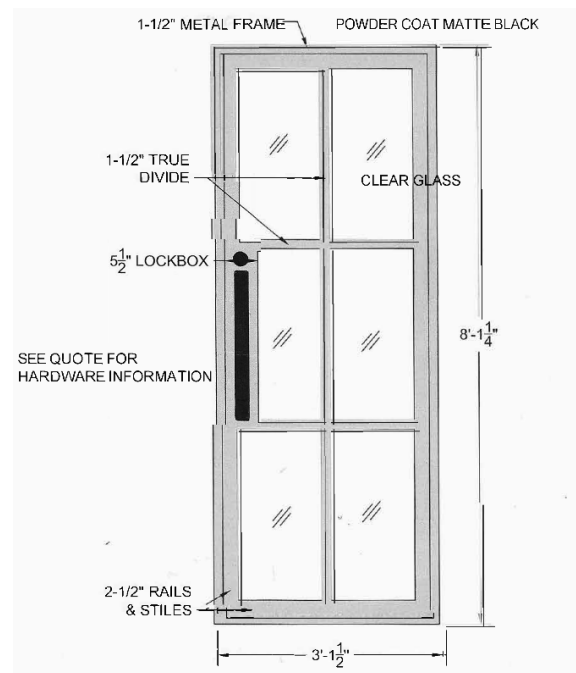


**PROPOSED WEST ELEVATION**



**EXISTING WEST ELEVATION**

**Elevation Change Detail**



**Door Detail**